

CONCEPT PLAN

ERWIN ORCHARDS

A SINGLE-FAMILY RESIDENTIAL COMMUNITY
LYON TOWNSHIP, OAKLAND COUNTY, MICHIGAN



DEVELOPER/ APPLICANT

PULTE HOMES OF MICHIGAN, LLC.
100 BLOOMFIELD HILLS PARKWAY, SUITE 150
BLOOMFIELD HILLS, MICHIGAN 48304
CONTACT: JOE SKORE
PHONE: 248.249.4611

ENGINEER

ATWELL, LLC
311 NORTH MAIN STREET
ANN ARBOR, MICHIGAN 48104
CONTACT: KATE BOND
PHONE: (734) 994-4000

LEGAL DESCRIPTION

DESCRIPTION OF 182.06-ACRE PARCEL OF LAND IN SECTION 6 AND 7, T1N, R7E, LYON TOWNSHIP, OAKLAND COUNTY, MICHIGAN:

BEGINNING AT THE NORTHEAST CORNER OF SECTION 7, T1N, R7E, LYON TOWNSHIP, OAKLAND COUNTY, MICHIGAN FOR A PLACE OF BEGINNING; THENCE N89°23'58"W (RECORDED AS N89°23'41"W) 390.00 FEET ALONG THE CENTERLINE OF SILVER LAKE ROAD (66.00 FEET WIDE) AND THE SOUTH LINE OF THE SOUTHEAST ¼ OF SECTION 6, T1N, R7E, LYON TOWNSHIP, OAKLAND COUNTY, MICHIGAN (AS MONUMENTED); THENCE S00°39'08"W (RECORDED AS S00°39'05"W) 354.47 FEET; THENCE N89°57'13"E (RECORDED AS N89°57'10"E) 390.03 FEET; THENCE S00°39'05"W 757.95 FEET (RECORDED AS 756.37 FEET) ALONG THE EAST LINE OF SAID SECTION 7 AND THE CENTERLINE OF PONTIAC TRAIL (66.00 FEET WIDE); THENCE N89°50'11"W 1320.64 FEET (RECORDED AS N89°54'03"W 1320.69 FEET) ALONG THE NORTH LINE OF "ORCHARD EDGE ESTATES" AS RECORDED IN LIBER 192, PAGE 19, OAKLAND COUNTY RECORDS, OAKLAND COUNTY, MICHIGAN (AS MONUMENTED); THENCE S00°41'14"W 318.52 FEET (RECORDED AS S00°41'06"W 319.43 FEET) ALONG THE WEST LINE OF SAID "ORCHARD EDGE ESTATES" (AS MONUMENTED); THENCE N89°18'51"W 900.05 FEET (RECORDED AS N89°18'54"W 900.00 FEET); THENCE S00°41'05"W (RECORDED AS S00°41'06"W) 386.00 FEET; THENCE N89°18'51"W (RECORDED AS N89°18'54"W) 39.00 FEET; THENCE S00°41'09"W (RECORDED AS S00°41'06"W) 237.00 FEET; THENCE S89°18'51"E (RECORDED AS S89°18'54"E) 188.00 FEET; THENCE S00°41'08"W (RECORDED AS S00°41'09"W) 149.00 FEET; THENCE S89°18'51"E (RECORDED AS S89°18'54"E) 150.00 FEET; THENCE S00°41'09"W (RECORDED AS S00°41'06"W) 444.83 FEET; THENCE N89°51'58"W (RECORDED AS N89°52'01"W) 698.28 FEET ALONG THE NORTH LINE OF "NEWMAN FARMS SUBDIVISION" AS RECORDED IN LIBER 89, PAGES 28 AND 29 OAKLAND COUNTY RECORDS, OAKLAND COUNTY, MICHIGAN (AS MONUMENTED); THENCE N00°18'42"E (RECORDED AS N00°18'39"E) 366.55 FEET ALONG THE NORTH-SOUTH ¼ LINE OF SAID SECTION 7; THENCE N89°54'36"W 759.72 FEET (RECORDED AS N89°54'39"W 762.15 FEET); THENCE N00°14'55"W (RECORDED AS N00°12'39"W) 2272.08 FEET; THENCE S89°09'57"E 781.86 FEET (RECORDED AS S89°10'01"E) ALONG THE NORTH LINE OF SAID SECTION 7 AND THE CENTERLINE OF SAID SILVER LAKE ROAD TO THE NORTH 1/4 CORNER OF SAID SECTION 7; THENCE N89°18'24"E (RECORDED AS N89°18'00"E) 702.04 FEET ALONG THE CENTERLINE OF SAID SILVER LAKE ROAD AND THE NORTH LINE OF SAID SECTION 7 (AS MONUMENTED); THENCE N00°25'26"W (RECORDED AS N00°25'50"W) 265.00 FEET; THENCE S89°18'19"W (RECORDED AS S89°17'55"W) 165.00 FEET; THENCE N00°25'26"W 738.50 FEET; THENCE S80°48'57"E (RECORDED AS S80°49'00"E) 796.75 FEET; THENCE N00°08'21"W (RECORDED AS N00°11'00"W) 448.78 FEET ALONG THE CENTERLINE OF SAID KENT LAKE ROAD AND THE WEST LINE OF THE SOUTHEAST ¼ OF THE SOUTHEAST ¼ OF SAID SECTION 6 (AS MONUMENTED); THENCE N89°54'56"E 1332.14 FEET (RECORDED AS N89°52'22"E 1333.20 FEET); THENCE S00°27'00"W 1331.45 FEET (RECORDED AS S00°27'08"W 1331.46 FEET) ALONG THE EAST LINE OF SAID SECTION 6, TO THE PLACE OF BEGINNING;

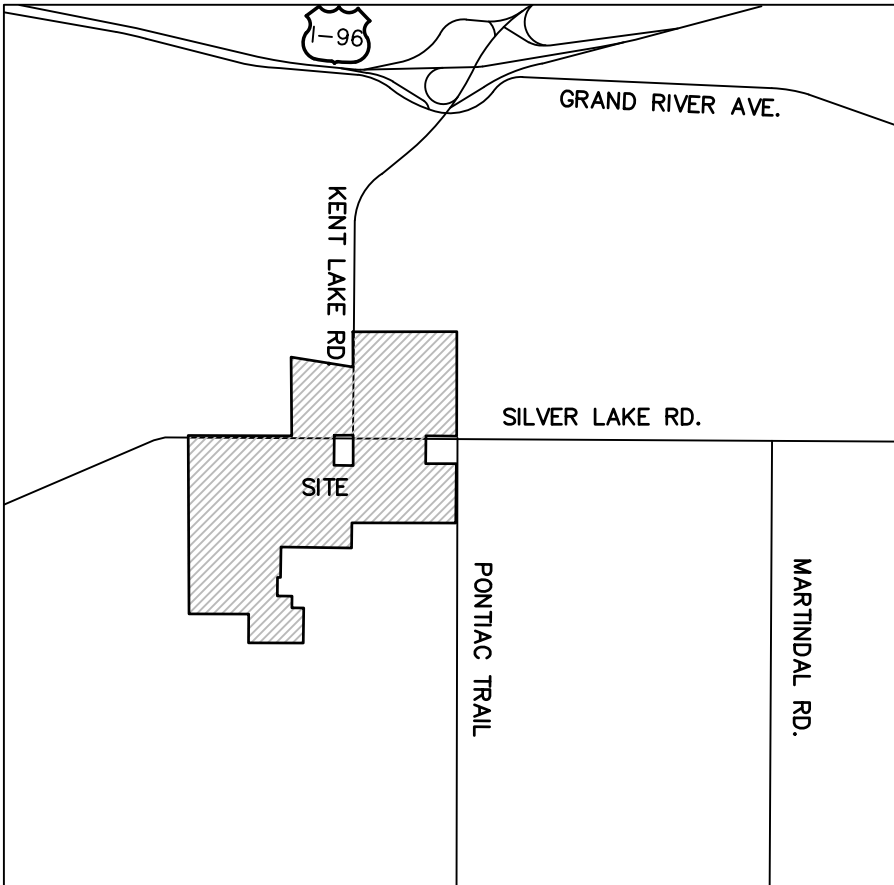
EXCEPT: BEGINNING AT THE SOUTHWEST CORNER OF THE SOUTHEAST ¼ OF THE SOUTHEAST ¼ OF SAID SECTION 6 (AS MONUMENTED); THENCE N00°08'21"W 76.00 FEET ALONG THE WEST LINE OF THE SOUTHEAST ¼ OF THE SOUTHEAST ¼ OF SAID SECTION 6 AND THE CENTERLINE OF SAID KENT LAKE ROAD; THENCE S44°45'59"E 108.17 FEET; THENCE N89°23'58"W (RECORDED AS N89°23'41"W) 76.00 FEET ALONG THE CENTERLINE OF SAID SILVER LAKE ROAD AND THE SOUTH LINE OF SAID SECTION 6 (AS MONUMENTED) TO THE PLACE OF BEGINNING;

ALSO EXCEPTING: COMMENCING AT THE NORTH ¼ CORNER OF SAID SECTION 7; THENCE N89°18'24"E (RECORDED AS N89°18'00"E) 1078.35 FEET ALONG THE NORTH LINE OF SAID SECTION 7 AND THE CENTERLINE OF SAID SILVER LAKE ROAD (AS MONUMENTED) FOR A PLACE OF BEGINNING; THENCE CONTINUING N89°18'24"E (RECORDED AS N89°18'00"E) 239.98 FEET ALONG THE NORTH LINE OF SAID SECTION 7 AND THE CENTERLINE OF SAID SILVER LAKE ROAD TO THE SOUTHWEST CORNER OF THE SOUTHEAST ¼ OF THE SOUTHEAST ¼ OF SAID SECTION 6 (AS MONUMENTED); THENCE S00°26'12"W (RECORDED AS S00°27'26"W) 387.11 FEET; THENCE N89°19'18"W 239.92 FEET (RECORDED AS N89°18'00"W 249.92 FEET); THENCE N00°26'12"E (RECORDED AS N00°27'26"E) 381.36 FEET TO THE PLACE OF BEGINNING, BEING PART OF THE NORTH ¼ OF SAID SECTION 7 AND THE SOUTH ¼ OF SAID SECTION 6, CONTAINING 182.06 ACRES OF LAND MORE OR LESS, BEING SUBJECT TO THE RIGHTS OF THE PUBLIC OVER SAID SILVER LAKE ROAD, PONTIAC TRAIL, AND KENT LAKE ROAD, ALSO BEING SUBJECT TO OTHER EASEMENTS AND RESTRICTION OF RECORD, IF ANY.



OVERALL DEVELOPMENT MAP

1" = 250'



LOCATION MAP
NO SCALE

SHEET INDEX

- | | |
|----|-------------------------------------|
| 01 | COVER SHEET |
| 02 | EXISTING CONDITIONS PLAN |
| 03 | CONCEPTUAL LAYOUT PLAN - OVERALL |
| 04 | CONCEPTUAL LAYOUT PLAN - AREA 1 |
| 05 | CONCEPTUAL LAYOUT PLAN - AREA 2 |
| 06 | CONCEPTUAL LAYOUT PLAN - AREA 3 |
| 07 | CONCEPTUAL LAYOUT PLAN - AREA 4 |
| 08 | UTILITY AND DRAINAGE SCHEMATIC PLAN |
| 09 | LANDSCAPE SCHEMATIC PLAN |
| 10 | PARALLEL PLAN |

SITE DATA:

PARCEL SIZE (GROSS):	182.06 ACRES
PONTIAC TRAIL ROW:	4.71 ACRES
KENT LAKE ROAD ROW:	4.51 ACRES
SILVER LAKE ROAD ROW:	6.53 ACRES
NET SITE AREA:	170.88 ACRES
EXISTING ZONING:	R-1.0 RESIDENTIAL AGRICULTURE
MASTER PLAN ZONING:	STUDY AREA 5: SINGLE FAMILY RESIDENTIAL B
	1.25-2.0 DU/ ACRE = 364 MAX
PROPOSED ZONING:	PLANNED DEVELOPMENT(PD)
SINGLE FAMILY LOTS:	182.06 X 2 = 364 UNITS MAX
TOTAL UNITS SHOWN:	364
GROSS DENSITY:	1.99 DU / ACRE
LOT SIZE:	55' x 120' (6,600 SF MIN)
SETBACKS:	
FRONT:	20'
SIDE:	REQUIRED - 15'
	PROVIDED - 50'
REAR:	25'
BUFFERS:	
PERIMETER/PUBLIC ROAD:	REQUIRED AND PROVIDED - 75'
PERIMETER/NO PUBLIC ROAD:	REQUIRED - 40' PROVIDED - 50'
OPEN SPACE:	
REQUIRED:	20% (33.78 ACRES)
PROVIDED:	39% (67.53 ACRES)

Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTORS. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY IN THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2016 ATWELL, LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL, LLC.

ATWELL
866.850.4200
www.atwell-group.com

311 N. MAIN ST.
ANN ARBOR, MI 48104
734.994.4000

SECTION 07
TOWN 01 NORTH, RANGE 07 EAST
LYON TOWNSHIP
OAKLAND COUNTY, MICHIGAN

CLIENT
PULTE HOMES OF MICHIGAN, LLC
ERWIN ORCHARDS
CONCEPT PLAN
COVER SHEET

DATE
DECEMBER 29, 2016
REVISIONS
0 125 250
SCALE: 1" = 250 FEET
DR. JL CH. KB
P.M. KB
BOOK --
JOB 300564.40
SHEET NO.
01

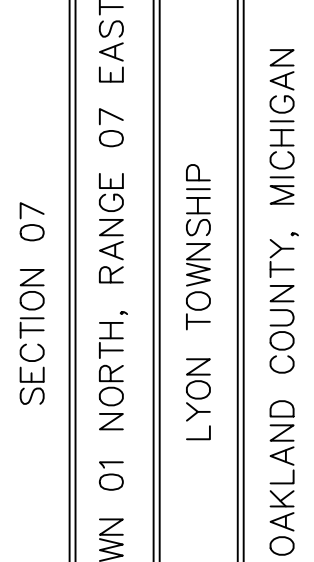


THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY, AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE
SOLE RESPONSIBILITY OF THE
CONTRACTOR; NEITHER THE OWNER
NOR THE ENGINEER SHALL BE
EXPECTED TO ASSUME ANY
RESPONSIBILITY FOR SAFETY OF
THE WORK, OF PERSONS ENGAGED
IN THE WORK, OF ANY NEARBY
STRUCTURES, OR OF ANY OTHER
PERSONS.

COPYRIGHT © 2016 ATWELL LLC
REPRODUCTION SHALL BE MADE
WITHOUT THE PRIOR WRITTEN
CONSENT OF ATWELL LLC

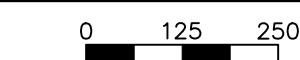
ATWELL
866.850.4200 www.atwell-group.com
311 N. MAIN ST.
ANN ARBOR, MI 48104
734.994.4000



LTE HOMES OF MICHIGAN, LLC
 ERWIN ORCHARDS
 CONCEPT PLAN
 EXISTING CONDITIONS PLAN

DATE
DECEMBER 29, 2016

REVISIONS



SCALE: 1" = 250 FEET

DR.	JL	CH.	KB
-----	----	-----	----

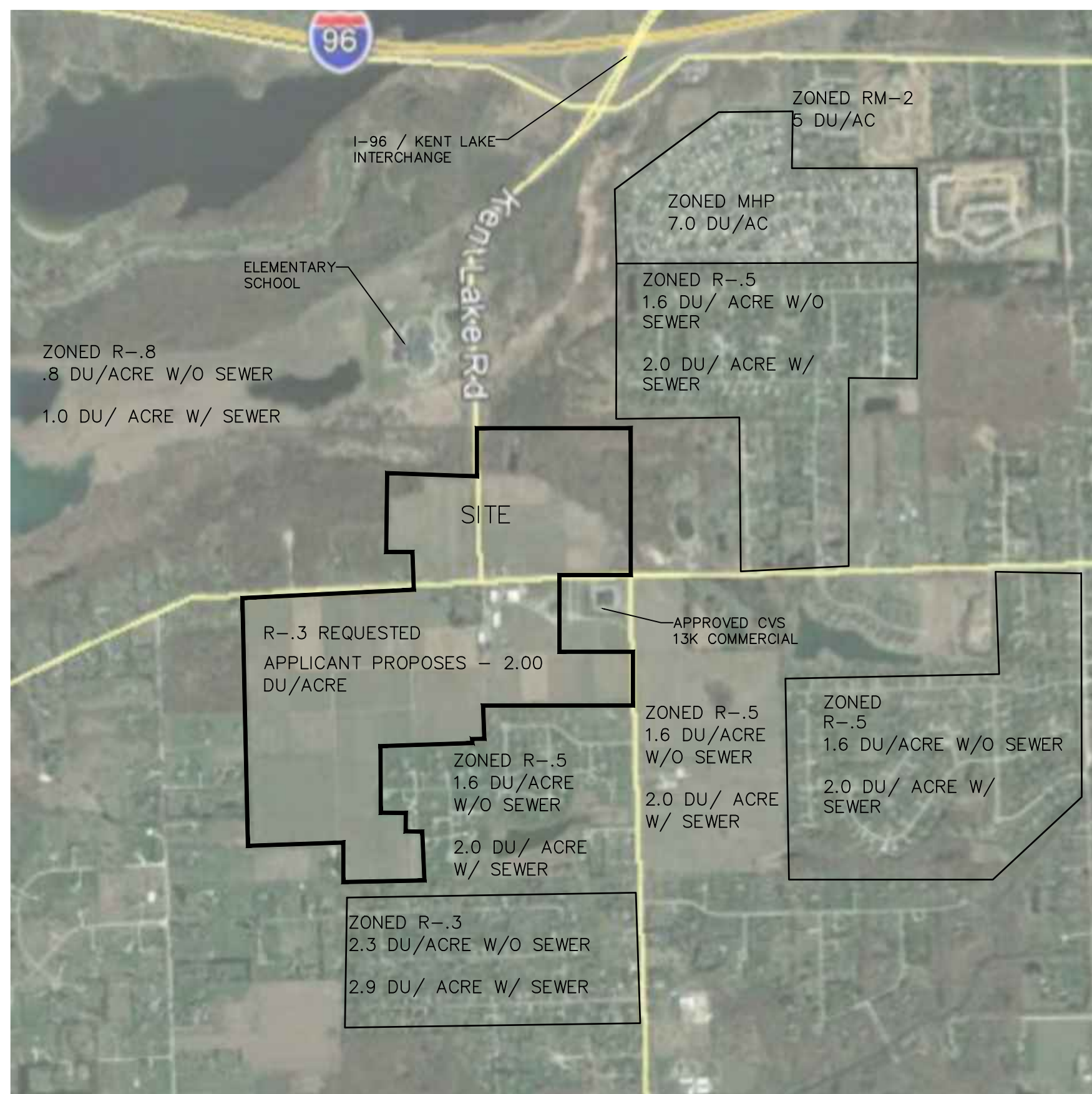
P.M. KB

300K --

JOB 300564.40

03

NOT TO SCALE



1. PROPERTY BOUNDARIES AS SHOWN REFERENCE OAKLAND COUNTY GIS DATA AND ARE APPROXIMATE
2. EXISTING 2-FT INTERVAL CONTOURS AS SHOWN REFERENCE OAKLAND COUNTY GIS DATA AND ARE APPROXIMATE.
3. EXISTING VEGETATION ZONES DETERMINED PER SITE WALK ON 11/22/16

THE LAND IS CURRENTLY FARMED AS AN APPLE ORCHARD WITH RASPBERRIES, SWEET CHERRIES AND A SMALL ACRES OF PUMPKINS. APPROXIMATELY 150 ACRES OF THE SITE IS ALLOCATED TO GROWING APPLES. THEREFORE TREE COVERAGE OVER THE MAJORITY OF THE SITE IS FROM THE MALUS SPECIES RANGING IN AGE FROM 15 - 40 YEARS. THE ORCHARD CONTAINS 27 APPLE VARIETIES. THE REMAINDER OF THE SITE CONSISTS OF APPROXIMATELY THREE ACRES OF SWEET CHERRIES, FOUR ACRES OF RASPBERRIES AND FIVE TO SIX ACRES OF PUMPKINS. THE FARM OPERATION SUPPLIES APPLES AND OTHER RELATED PRODUCTS ON SITE THROUGH A RETAIL OUTLET LOCATED ON THE PREMISES.

SOILS ON THE SUBJECT PROPERTY ARE PRIMARILY MARLETTE SANDY LOAM WITH SOME FOX SANDY LOAM. THE TOPOGRAPHY IS GENTLY SLOPING WITH SLOPES ON AVERAGE RANGING FROM SIX TO TWELVE PERCENT. A HIGH POINT ON THE SITE LIES IN THE WESTERN CENTRAL PORTION AND DROPS OFF NEARLY FIFTY FEET TO THE SOUTHERNMOST PROPERTY LINE. THE LOW AREAS OF THE PROPERTY SOUTH OF SILVER LAKE ROAD ALL LAY AT THE CORNERS OF THE PROPERTY.

THE PORTION OF THE PARCEL TO THE NORTH DRAINS FROM SOUTH TO NORTH TOWARD AN EXISTING WETLAND SYSTEM. THE WETLAND AREA ON THE PROPERTY APPEARS TO ENCOMPASS APPROXIMATELY 12.94 ACRES. IT IS BISECTED BY WOOD LOTS AND APPEARS TO BE WOODED IN CHARACTER.

Map unit symbol	Map unit name	Depth to Water Table Rating (inches)	Flood Frequency	Ponding Frequency	Percent of Site
10B	Marlette sandy loam, 1 to 6 percent slopes	51	none	none	33.70%
10C	Marlette sandy loam, 6 to 12 percent slopes	>80	none	none	0.20%
18B	Fox sandy loam, till plain, 2 to 6 percent slopes	>80	none	none	25.90%
18C	Fox sandy loam, till plain, 6 to 12 percent slopes	>80	none	none	18.60%
18D	Fox sandy loam, till plain, 12 to 25 percent slopes	>80	none	none	8.40%
27	Houghton and Adrian mucks	>80	none	Frequent	12.00%
44C	Riddles sandy loam, 6 to 12 percent slopes	>80	none	none	0.60%
W	Water	-	-	-	0.30%

951

PRELIMINARY - NOT FOR CONSTRUCTION

K:\300564.40\DWG\PLAN SET\CONCEPT\300564.40-01-PLAN.DWG 12/29/2016 10:32 AM JAL/ML LEANNE



DEVELOPMENT NARRATIVE

ERWIN ORCHARDS PLANNED DEVELOPMENT IS BEING PROPOSED AS A PREMIERE RESIDENTIAL COMMUNITY MEANT TO COMPLEMENT THE TOWNSHIP'S GOALS OF CREATING A WALKABLE "HOMETOWN" COMMUNITY. THE 182 ACRE SITE IS IN THE NORTHWEST QUADRANT OF LYON TOWNSHIP WHERE KENT LAKE ROAD, SILVER LAKE ROAD AND PONTIAC TRAIL INTERSECT. ERWIN ORCHARDS PD BOASTS OVER 67 ACRES OF OPEN SPACE EQUITABLY DISTRIBUTED THROUGHOUT THE DEVELOPMENT AND ACCESSIBLE BY WAY OF A PEDESTRIAN SYSTEM TO THE 364 PROPOSED UNITS. AT 55' WIDE AND 120' DEEP, THE LOT PROVIDES MODERN HOMEBUYERS THE LUXURY HOME THEY DESIRE WITH MINIMAL LOT MAINTENANCE. THE AMPLE OPEN SPACE PROVIDES THE APPEARANCE OF LARGE LOT LIVING.

THE SUBJECT SITE IS SURROUNDED BY RESIDENTIALLY ZONED PROPERTY. THE SITE ITSELF IS ZONED R-1 AND IS MASTER PLANNED FOR STUDY AREA 5: SINGLE FAMILY RESIDENTIAL 1.25 - 2.0 DU/ACRE = 369 MAXIMUM.


THE APPLICANT IS OFFERING TWO PRODUCT LINES FOR THE ERWIN ORCHARDS PLANNED DEVELOPMENT IN THE FORM OF SINGLE FAMILY AND ACTIVE ADULT OPTIONS. FIFTY TO SEVENTY HOMES OF EACH PRODUCT TYPE SHALL BE CONSTRUCTED IN THREE PHASES. THE PHASING IS DEPENDENT ON UTILITY LAYOUT AND OTHER FACTORS AND SHALL BE DETERMINED AS THE PROJECT FURTHER DEVELOPS. THE ERWIN ORCHARDS SITE HAS APPROXIMATELY 5,400 LF OF ROAD FRONTAGE. THE PROPOSED DEVELOPMENT WILL PROVIDE PICTURESQUE ENTRANCES OFF OF THE SOUTH SIDE OF PONTIAC TRAIL AND THE EAST AND WEST SIDES OF KENT LAKE ROAD. THE ENTIRE DEVELOPMENT IS BORDERED BY OPEN SPACE BUFFERS THAT ARE AT A MINIMUM 40' WIDE.

THE APPLICANT HAS UNDERTAKEN A THOROUGH ANALYSIS OF THE CONVERGENCE OF KENT LAKE ROAD, SILVER LAKE ROAD AND PONTIAC TRAIL IN AN EFFORT TO IMPROVE EXISTING CONDITIONS. THE ERWIN ORCHARDS PLANNED DEVELOPMENT PROVIDES THE LYON TOWNSHIP COMMUNITY WITH AN ALIGNMENT THAT IMPROVES THE LEVEL OF SERVICE IN THE AREA. THE PROPOSED DEVELOPMENT OFFERS A PAVED WALKWAY ALONG SILVER LAKE ROAD. IN ADDITION, THERE ARE ATHLETIC FIELDS, WITH PARKING, AVAILABLE TO THE SURROUNDING COMMUNITY.

PRODUCT PHOTOS



ABOVE ARE SOME EXAMPLE HOMES THAT PULTE HAS BUILT IN THE NEIGHBORING COMMUNITIES AS WELL AS AN EXAMPLE OF WHAT POTENTIALLY COULD BE DEVELOPED AT ERWIN ORCHARDS.




Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY IN THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2016 ATWELL LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL LLC.



ATWELL
866.850.4200 www.atwell-group.com
311 N. MAIN ST.
ANN ARBOR, MI 48104
734.994.4000

CLIENT	SECTION 07
	TOWN 01 NORTH, RANGE 07 EAST
	LYON TOWNSHIP
PULTE HOMES OF MICHIGAN, LLC	LYON TOWNSHIP
ERWIN ORCHARDS	LYON TOWNSHIP
CONCEPT PLAN	LYON TOWNSHIP
CONCEPTUAL LAYOUT PLAN - OVERALL	LYON TOWNSHIP
DATE	DECEMBER 29, 2016
REVISIONS	
SCALE: 1" = 200 FEET	
DR. JL	CH. KB
P.M. KB	
BOOK	--
JOB	300564.40
SHEET NO.	03

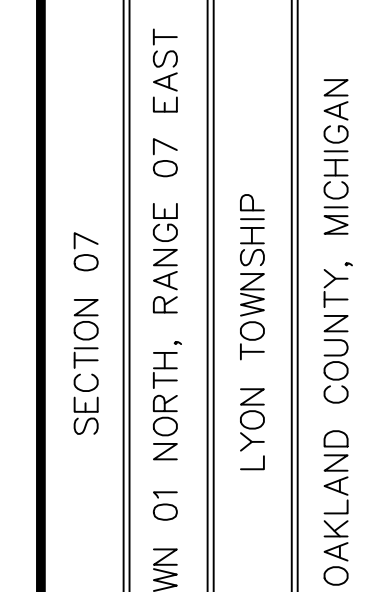


THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE
SOLE RESPONSIBILITY OF THE
CONTRACTOR; NEITHER THE OWNER
NOR THE ENGINEER SHALL BE
EXPECTED TO ASSUME ANY
RESPONSIBILITY FOR SAFETY OF
THE WORK, OF PERSONS ENGAGED
IN THE WORK, OF ANY NEARBY
STRUCTURES, OR OF ANY OTHER
PERSONS.

COPYRIGHT © 2016 ATWELL LLC NO
REPRODUCTION SHALL BE MADE
WITHOUT THE PRIOR WRITTEN
CONSENT OF ATWELL LLC

ATWELL
866.850.4200 www.atwell-group.com
311 N. MAIN ST.
ANN ARBOR, MI 48104
734.994.4000



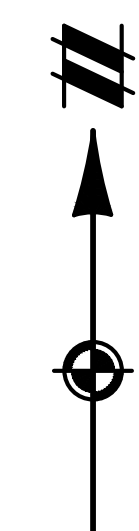
CLIENT PULTE HOMES OF MICHIGAN, LLC
ERWIN ORCHARDS
CONCEPT PLAN
CONCEPTUAL LAYOUT PLAN – AREA

DATE
DECEMBER 29, 2016

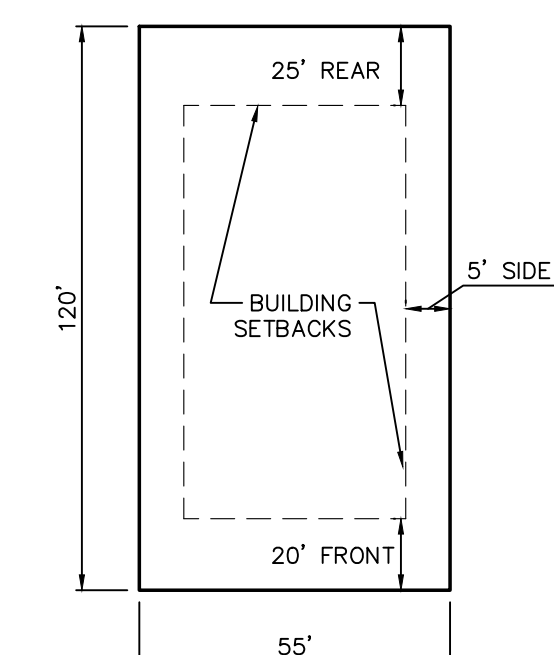
[illegible]

REVISIONS			
SCALE: 1" = 100 FEET			
DR.	JL	CH.	KB
P.M. KB			
BOOK — —			
JOB	300564.40		
SHEET NO.			

04












TYPICAL LOT DETAIL



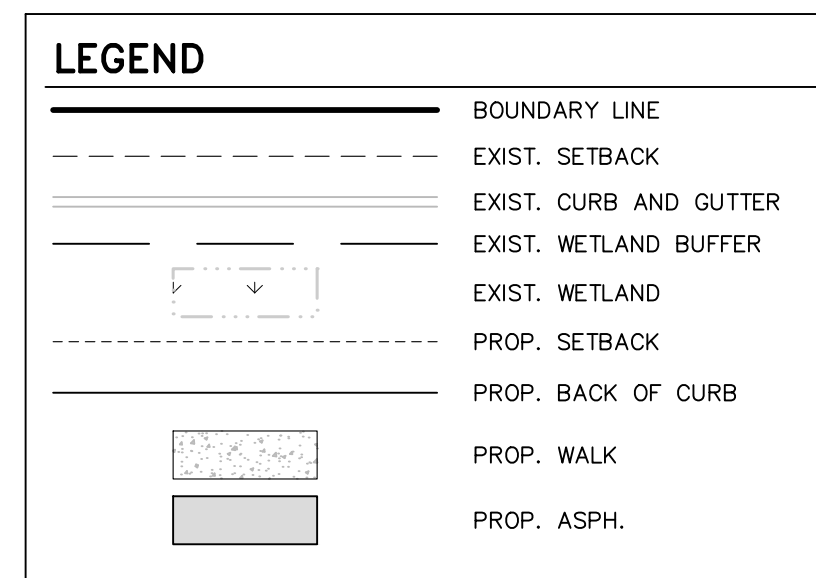
SEE SHEET 05

LEGEND

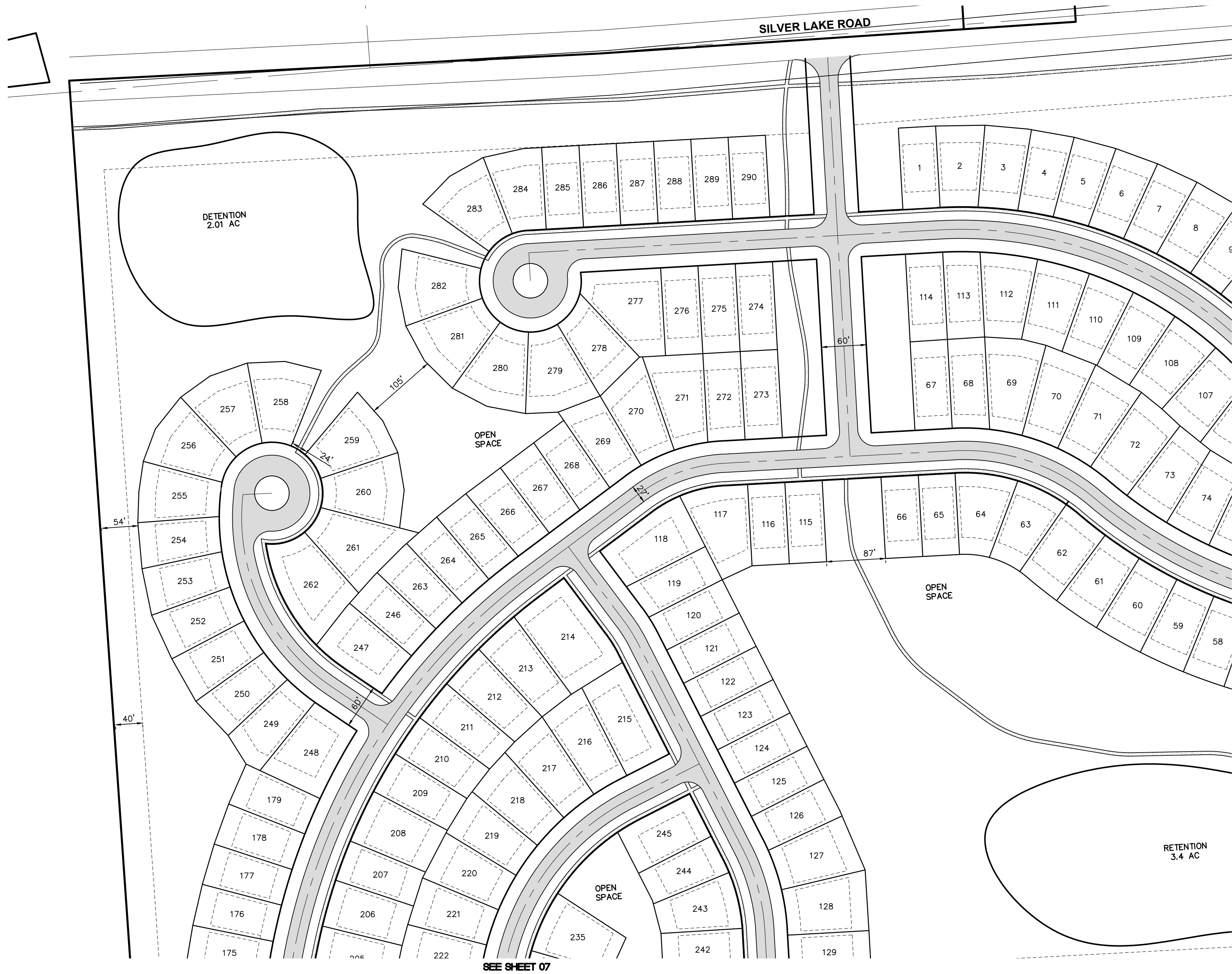
	BOUNDARY LINE
	EXIST. SETBACK
	EXIST. CURB AND GUTTER
	EXIST. WETLAND BUFFER
	EXIST. WETLAND
	PROP. SETBACK
	PROP. BACK OF CURB
	PROP. WALK
	PROP. ASPH.

PRELIMINARY - NOT FOR CONSTRUCTION

\\300564.40\DWG\PLAN SETS\CONCEPT\300564.40C-03.1-LDWG 12/28/2016 10:52 AM JACLYN LEVANGIE

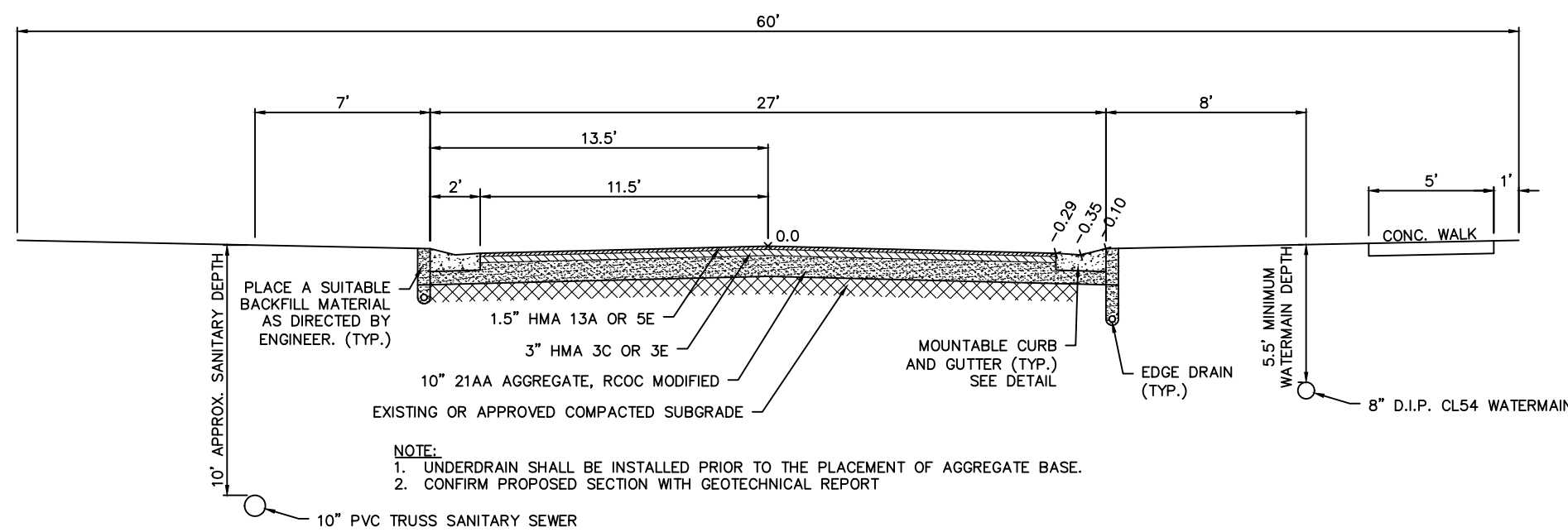


K:\300564-40\DWG\PLAN SET\CONCEPT\300564-40-C-031-L.DWG 12/29/2016 10:32 AM JAC/YN EVAN/GE



SEE SHEET 07

SEE SHEET 06



TYPICAL CROSS SECTION
CURBED RESIDENTIAL ROAD

LEGEND	
	BOUNDARY LINE
	EXIST. SETBACK
	EXIST. CURB AND GUTTER
	EXIST. WETLAND BUFFER
	EXIST. WETLAND
	PROP. SETBACK
	PROP. BACK OF CURB
	PROP. WALK
	PROP. ASPH.

PRELIMINARY - NOT FOR CONSTRUCTION

Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

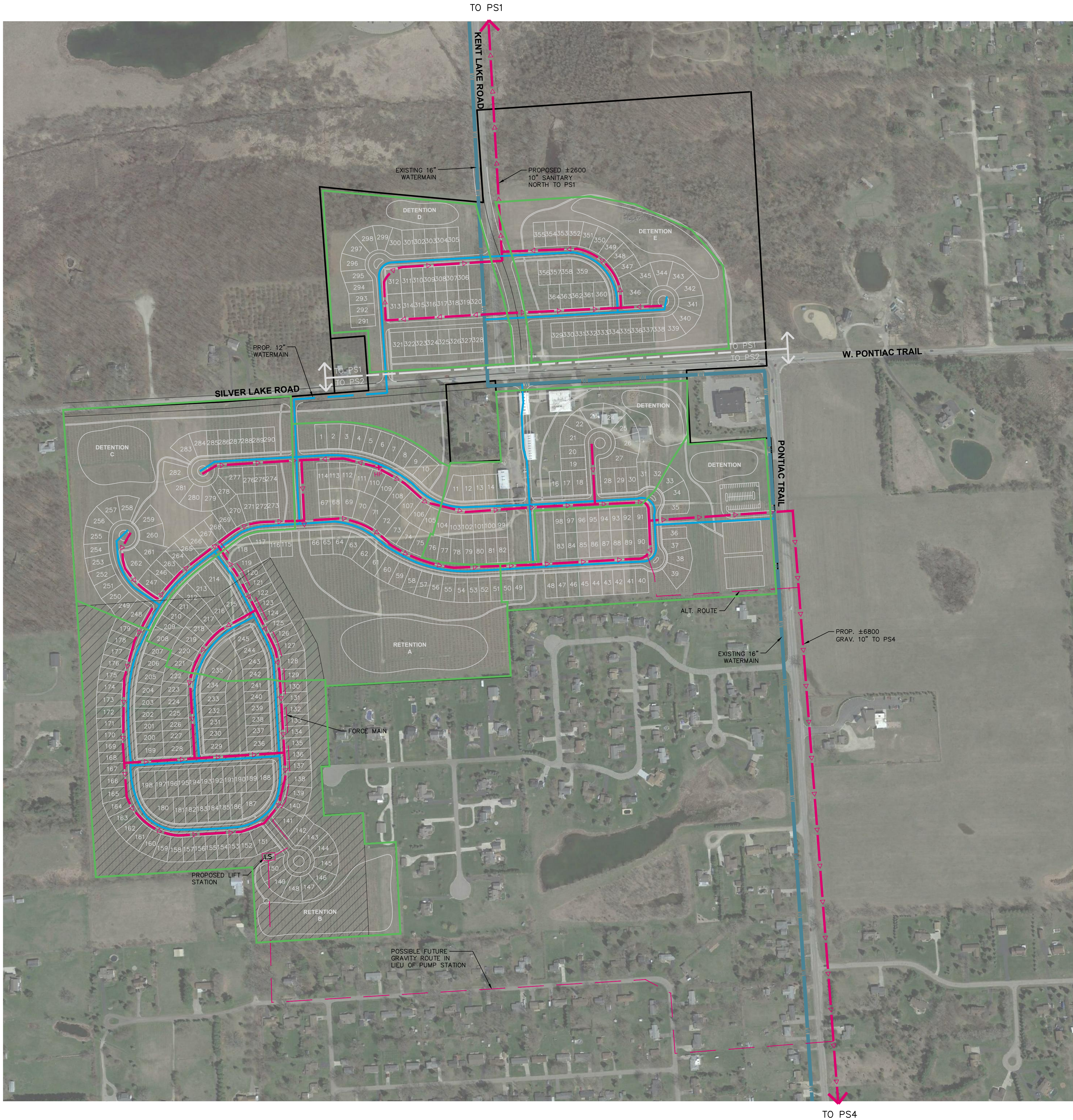
NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY IN THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2016 ATWELL, LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL, LLC.

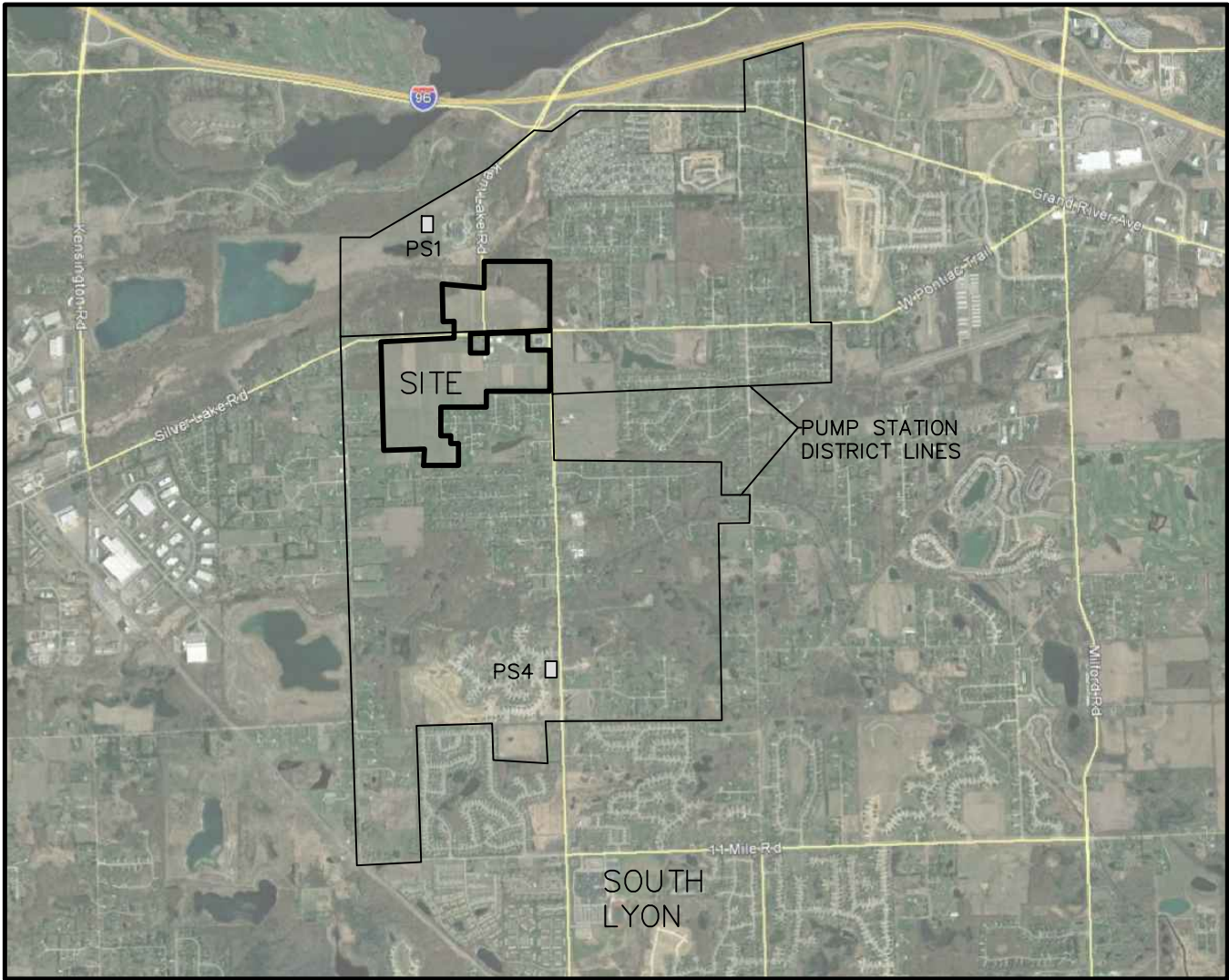
ATWELL
866.850.4200 www.atwell-group.com
311 N. MAIN ST.
ANN ARBOR, MI 48104
734.994.4000

CLIENT	SECTION 07
	TOWN 01 NORTH, RANGE 07 EAST
	LYON TOWNSHIP
PULTE HOMES OF MICHIGAN, LLC	OAKLAND COUNTY, MICHIGAN
	ERWIN ORCHARDS
	CONCEPT PLAN
DATE	CONCEPTUAL LAYOUT PLAN - AREA 3
	DECEMBER 29, 2016
REVISIONS	
SCALE: 1" = 100 FEET	
P.M. KB	
BOOK	
JOB	
SHEET NO.	

K:\300564-40\DWG\PLAN SET\CONCEPT\300564-40C-04-LS.DWG 12/29/2016 10:52 AM JAL/ML LEVANSKE



REGIONAL UTILITIES MAP
NOT TO SCALE



UTILITY NOTES (CONCEPTUAL)

WATERMAIN

WATERMAIN EXISTS ALONG PONTIAC TRAIL AND KENT LAKE ROAD. A CONNECTION IS PROPOSED FROM THE SUBJECT PARCEL TO THIS EXISTING 16" WATERMAIN RUNNING ALONG KENT LAKE ROAD AND PONTIAC TRAIL. PROPOSED 8" WATERMAIN WITHIN THE PROPOSED DEVELOPMENT SHALL BE LOOPED FOR EACH PHASE.

SANITARY

PROPOSED SANITARY SEWER FOR THE SUBJECT PROPERTY SHALL CONNECT TO THE EXISTING SANITARY INFRASTRUCTURE. THE PORTION OF THE DEVELOPMENT NORTH OF SILVER LAKE ROAD/PONTIAC TRAIL SUCH THAT THEY COINCIDE WITH THE PROPOSED DEVELOPMENT AND ALLOW FOR BASINS TO BE STRATEGICALLY LOCATED IN THE OUTLYING CORNERS. THE STORMWATER BASINS WILL EITHER OUTLET TO PUBLIC ROADS, OR, IN THE CASE OF THE RETENTIONS BASINS ON THE FAR SOUTHERN PORTION INFILTRATE ON SITE.

STORMWATER

RIDGELINES RUN THROUGH THE CENTER OF THE EXISTING PROPERTY SOUTH OF SILVER LAKE ROAD/PONTIAC TRAIL SUCH THAT THEY COINCIDE WITH THE PROPOSED DEVELOPMENT AND ALLOW FOR BASINS TO BE STRATEGICALLY LOCATED IN THE OUTLYING CORNERS. THE STORMWATER BASINS WILL EITHER OUTLET TO PUBLIC ROADS, OR, IN THE CASE OF THE RETENTIONS BASINS ON THE FAR SOUTHERN PORTION INFILTRATE ON SITE.

THE SUBJECT PROPERTY NORTH OF SILVER LAKE ROAD/PONTIAC TRAIL DRAINS TO THE NORTH NATURALLY TOWARD AN EXISTING WETLAND SYSTEM. THE PROPOSED DEVELOPMENT FOLLOWS THE SAME PATTERN WITH A SYSTEM THAT PROPOSED DETENTION PONDS WITH FOREBAYS THAT WILL OUTLET TO THE WETLAND.

LEGEND

- W EXIST. WATER MAIN
- PROP. 8" WATER MAIN
- PROP. 12" WATER MAIN
- APPROX. LIMITS TRIBUTARY TO ONSITE PUMP STATION
- PROP. GRAVITY SANITARY
- LS PROP. SANITARY LIFT STATION
- PROP. GRAVITY SANITARY ALTERNATE ROUTE
- PROP. STORMWATER AREAS

Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

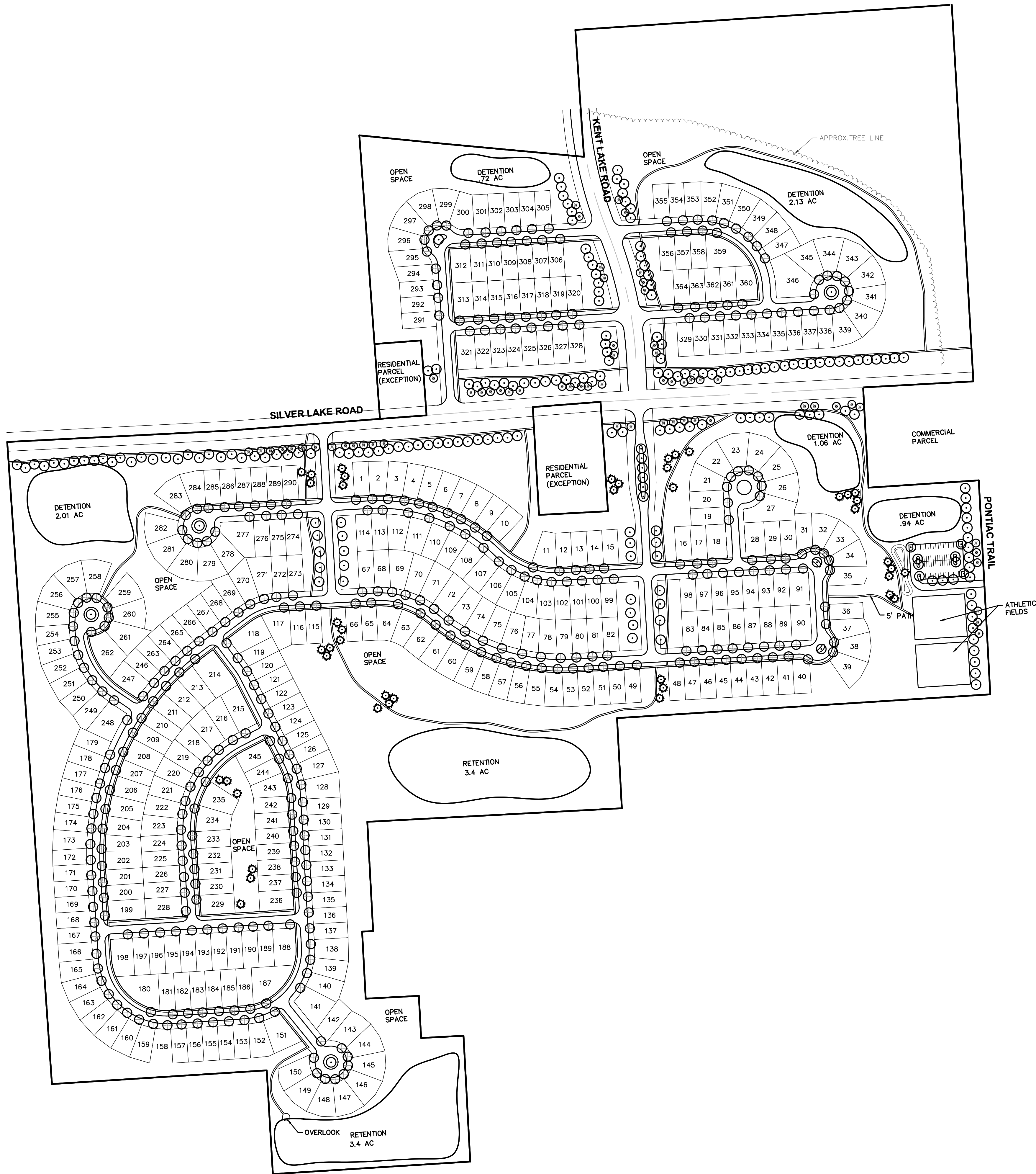
NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTORS. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY IN THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2016 ATWELL LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL LLC.

866.850.4200 www.atwell-group.com
311 N. MAIN ST.
ANN ARBOR, MI 48104
734.994.4000

CLIENT	SECTION 07	TOWN 01 NORTH, RANGE 07 EAST
		LYON TOWNSHIP
		OAKLAND COUNTY, MICHIGAN
PULTE HOMES OF MICHIGAN, LLC	ERWIN ORCHARDS	UTILITY AND DRAINAGE
	CONCEPT PLAN	SCHEMATIC PLAN
DATE	DECEMBER 29, 2016	
REVISIONS	0 125 250 SCALE: 1" = 250 FEET DR. J.L. CH. KB P.M. KB BOOK -- JOB 300564.40 SHEET NO. 08	

K:\300564-40\DWG\PLAN SET\CONCEPT\300564-40-00-LS-000.dwg 12/29/2016 10:33 AM JAC/IN/LUNARIE



LANDSCAPE NOTES

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES.
2. LANDSCAPING OPERATIONS, INCLUDING PLANTING OF TREES AND SHRUBS, SHALL NOT DAMAGE ANY UTILITY OR INTERRUPT ANY UTILITY SERVICE, AND SHALL NOT DAMAGE OR CREATE A NUISANCE AFFECTING ADJACENT PROPERTY, PUBLIC STREETS, OR SIDEWALKS.
3. PLANT AND GRASS MATERIALS SHALL BE INSTALLED ACCORDING TO GENERALLY ACCEPTED PLANTING PROCEDURES.
4. ALL PARKING LOT ISLANDS, BOULEVARDS, OPEN OR OTHERWISE DISTURBED AREAS THAT ARE NOT SPECIFIED WITH OTHER PLANTING, PAVING OR SEED MIXTURES SHALL BE PLANTED WITH A STANDARD PERMANENT GRASS SEED MIXTURE TO INDUSTRY STANDARDS.
5. LANDSCAPING MATERIALS THAT ARE UNSIGHTLY, DEAD, DYING, OR THAT BECOME UNHEALTHY BECAUSE OF DAMAGE, NEGLIGENCE, DRAINAGE PROBLEMS, DISEASE, INSECT INFESTATION, OR OTHER CAUSES SHALL BE REPLACED WITHIN ONE YEAR, OR THE NEXT PLANTING PERIOD, WHICHEVER OCCURS FIRST. REPLACEMENT MATERIALS SHALL MEET ALL STANDARDS OF THE ORIGINAL INSTALLATION.
6. THE PROPERTY OWNER (OR ANY APPLICABLE OWNER'S ASSOCIATION) SHALL BE RESPONSIBLE TO ENSURE THE PROPER CARE AND MAINTENANCE OF LANDSCAPE AREAS, INCLUDING KEEPING ALL LANDSCAPE MATERIALS IN A HEALTHY AND GROWING STATE. ALL LANDSCAPE ELEMENTS SUCH AS, BUT NOT LIMITED TO, FENCES, SCREENS, WALLS, OR LIGHTING SHALL BE KEPT IN GOOD REPAIR.
7. TOPSOIL REMOVED DURING CONSTRUCTION SHALL BE STOCKPILED IN AN APPROPRIATE MANNER TO PREVENT EROSION, AND SHALL BE REDISTRIBUTED ON RE-GRADED SURFACES TO BE LANDSCAPED, TO PROVIDE A MINIMUM OF FOUR INCHES OF EVEN COVER. THE TOPSOIL SHALL THEN BE PERMANENTLY STABILIZED BY GRASS, GROUND COVER, OR OTHER PLANTINGS.
8. REMOVE ALL TWINE, WIRE, NURSERY GUARDS, TAGS AND INORGANIC MATERIAL FROM ROOT BALL. PEEL BACK THE BURLAP FROM EARTH BALLS AND REMOVE ANY BURLAP, TWINE OR WIRE AROUND THE TRUNK FLARE AND ABOVE.
9. ALL PLANTING AREAS ARE TO BE EXCAVATED OF ALL BUILDING / CONSTRUCTION AND FILL MATERIALS AND BACKFILLED WITH GOOD MEDIUM TEXTURED PLANTING SOIL. SEEDING AREAS ARE TO BE TREATED WITH 4" OF NEW TOPSOIL AND ROTOTILLED OR OTHERWISE SCARIFIED TO BREAK UP COMPACTION AT LEAST 8" BELOW THE TOPSOIL.
10. TOPSOIL SHALL BE SCREENED AND SUITABLE FOR GROWING VEGETATION AND MEET AT A MINIMUM ASTM D-5268 AND MDT STANDARD SPECIFICATIONS FOR CONSTRUCTION.
11. RECOMMENDED PLANTING DATES ARE MARCH 15 TO JUNE 15 AND SEPTEMBER 15 TO NOVEMBER 15.

LANDSCAPE REQUIREMENTS

GENERAL SITE REQUIREMENTS

ALL UNPAVED PORTIONS OF THE SITE SHALL BE PLANTED WITH GRASS, GROUND COVER, SHRUBBERY, OR OTHER SUITABLE LIVE PLANT MATERIAL, WHICH SHALL EXTEND TO ANY ADJUTING STREET PAVEMENT EDGE.

LANDSCAPING ADJACENT TO ROADS

A MINIMUM OF ONE DECIDUOUS OR EVERGREEN TREE SHALL BE PLANTED FOR EACH 40 LINEAL FEET OR PORTION THEREOF OF ROAD FRONTAGE, PLUS, A MINIMUM OF ONE ORNAMENTAL TREE SHALL BE PLANTED FOR EACH 100 LINEAL FEET OR PORTION THEREOF OF ROAD FRONTAGE, PLUS, A MINIMUM OF EIGHT SHRUBS SHALL BE PLANTED FOR EACH 40 LINEAL FEET OR PORTION THEREOF OF ROAD FRONTAGE.

SILVER LAKE ROAD / PONTIAC TRAIL

NORTH - 1,715 LF = 43 TREES, 344 SHRUBS*, 18 ORNAMENTAL TREES

SOUTH - 2,590 LF = 65 TREES, 520 SHRUBS*, 26 ORNAMENTAL TREES

KENT LAKE ROAD

EAST AND WEST - 630 LF EA = 16 TREES, 128 SHRUBS*, 7 ORNAMENTAL TREES

PONTIAC TRAIL

WEST - 750 LF = 19 TREES, 152 SHRUBS*, 8 ORNAMENTAL TREES

*SHRUBS SHALL BE SHOWN ON DETAILED LANDSCAPE PLANS

BERM REQUIREMENTS

A LANDSCAPED BERM SHALL BE REQUIRED TO SCREEN THE PARKING FROM VIEW OF THE ROAD.

SCREENING

SCREENING IN THE FORM OF A LANDSCAPED BERM, GREENBELT, OR WALL SHALL BE REQUIRED WHEREVER A NONRESIDENTIAL USE PARKING IS LOCATED ADJACENT TO A RESIDENTIAL USE, SCHOOL, PARK, OR SIMILAR PUBLIC AREA.

PARKING LOT LANDSCAPING

OFF-STREET PARKING AREAS CONTAINING GREATER THAN 15 SPACES SHALL BE PROVIDED WITH AT LEAST TEN SQUARE FEET OF INTERIOR LANDSCAPING PER PARKING SPACE. LANDSCAPED AREAS IN PARKING LOTS SHALL BE NOT LESS THAN TEN FEET IN ANY SINGLE DIMENSION, AND NO LESS THAN 150 SQUARE FEET IN AREA.

STREET TREES IN SINGLE-FAMILY DISTRICTS

A MINIMUM OF ONE DECIDUOUS TREE SHALL BE PLANTED ON EACH SINGLE-FAMILY PARCEL OR LOT ON WHICH A NEW DWELLING UNIT IS PROPOSED TO BE CONSTRUCTED.

368 TOTAL UNITS = 368 STREET TREES

LANDSCAPE LEGEND

SYMBOL PROPOSED DECIDUOUS TREE - 2.5"



GOLDSPIRE SUGAR MAPLE
ACER SUCCCHARUM 'GOLDSPIRE'



REGAL PRINCE OAK
QUERCUS X WAREI 'REGAL PRINCE'



COLUMNAR SWEETGUM
LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'



PROPOSED EVERGREEN TREE
WHITE PINE
PINUS STROBUS

Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

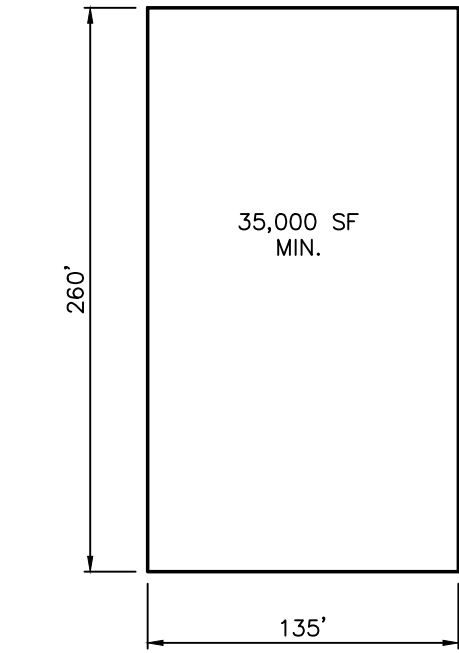
NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY IN THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2016 ATWELL, LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL, LLC.

866.850.4200 www.atwell-group.com
311 N. MAIN ST.
ANN ARBOR, MI 48104
734.994.4000

CLIENT	SECTION 07	TOWN 01 NORTH, RANGE 07 EAST	LYON TOWNSHIP	OAKLAND COUNTY, MICHIGAN
	PULTE HOMES OF MICHIGAN, LLC	ERWIN ORCHARDS	CONCEPT PLAN	LANDSCAPE SCHEMATIC PLAN
	DATE DECEMBER 29, 2016			
REVISIONS				
0 100 200				
SCALE: 1" = 200 FEET				
DR.	JL	CH.	KB	
P.M.	KB			
BOOK	---			
JOB	300564.40			
SHEET NO.	09			

K:\300564-40\DWG\PLAN SET\CONCEPT\300564-40C-PP-000 12/29/2016 10:55 AM JAC/IN LUNARDE



SITE DATA:	
PARCEL SIZE (GROSS):	182.06 ACRES
PONTIAC TRAIL ROW:	4.71 ACRES
KENT LAKE ROAD ROW:	4.51 ACRES
SILVER LAKE ROAD ROW:	6.53 ACRES
NET SITE AREA:	170.88 ACRES
EXISTING ZONING:	R-1.0 RESIDENTIAL AGRICULTURE
TOTAL UNITS SHOWN:	130
STANDARD LOT SIZE:	135' x 260' (35,100 SF MIN)
MIN. WIDTH:	135'*
MIN. AREA:	35,000 SF*

*SERVED BY SANITARY SEWER

LOT SUMMARY:

Parcel Table		Parcel Table		Parcel Table	
Parcel #	Area	Parcel #	Area	Parcel #	Area
1	48632.32	24	57822.09	47	38068.02
2	35100.65	25	36733.08	48	35442.64
3	35100.65	26	35100.00	49	35442.64
4	35100.65	27	35100.00	50	35432.03
5	35100.65	28	35100.00	51	49442.41
6	35100.65	29	35100.00	52	49544.70
7	35100.65	30	35100.00	53	35424.79
8	35100.65	31	35100.00	54	35429.79
9	34482.50	32	35100.00	55	35434.78
10	36917.77	33	35100.00	56	38065.14
11	35633.35	34	35477.02	57	36755.33
12	35333.95	35	87880.89	58	35442.64
13	34149.73	36	86407.72	59	35442.64
14	40800.00	37	34807.40	60	35442.64
15	41477.91	38	34045.01	61	35100.00
16	35487.08	39	36247.57	62	35100.00
17	39915.98	40	35102.05	63	35100.00
18	47306.43	41	35327.06	64	35100.00
19	45496.25	42	39391.44	65	35100.00
20	45240.13	43	35442.64	66	35100.00
21	41992.67	44	35442.64	67	35100.00
22	55011.09	45	35442.64	68	35100.00
23	91432.62	46	36755.33	69	40084.15

Parcel Table		Parcel Table		Parcel Table	
Parcel #	Area	Parcel #	Area	Parcel #	Area
70	34962.00	93	36696.34	116	41371.60
71	36342.08	94	35689.79	117	73419.32
72	36410.28	95	38588.49	118	60801.76
73	36252.78	96	54667.81	119	55700.22
74	47978.67	97	32542.78	120	51160.38
75	41266.98	98	35253.23	121	61701.81
76	37499.69	99	36543.76	122	47705.53
77	51751.69	100	36257.11	123	47652.35
78	37928.73	101	38877.08	124	37700.00
79	57939.21	102	35198.04	125	35100.00
80	48895.46	103	56930.78	126	35100.00
81	49174.63	104	37700.64	127	36623.95
82	56400.06	105	41046.32	128	41582.72
83	39333.94	106	41154.27	129	37393.94
84	65071.46	107	47715.73	130	37700.64
85	41429.84	108	44088.99		
86	35143.50	109	40105.30		
87	42176.42	110	35024.23		
88	61083.53	111	35012.37		
89	57523.88	112	35012.37		
90	42522.49	113	37605.88		
91	35100.60	114	36135.00		
92	41600.71	115	39162.97		

TYPICAL LOT DETAIL

Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTORS. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY IN THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2016 ATWELL, LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL, LLC.

866.850.4200 www.atwell-group.com
311 N. MAIN ST.
ANN ARBOR, MI 48104
734.994.4000

SECTION 07

TOWN 01 NORTH, RANGE 07 EAST

LYON TOWNSHIP

OAKLAND COUNTY, MICHIGAN

CLIENT

PULTE HOMES OF MICHIGAN, LLC

ERWIN ORCHARDS

CONCEPT PLAN

PARALLEL PLAN

DATE

DECEMBER 29, 2016

REVISIONS

0 100 200

SCALE: 1" = 200 FEET

DR. JL CH. KB

P.M. KB

BOOK --

JOB 300564.40

SHEET NO.

10